



RE-OCCUPANCY PERMIT INSPECTIONS



Valley Park, Missouri

2015 International Property Maintenance Code

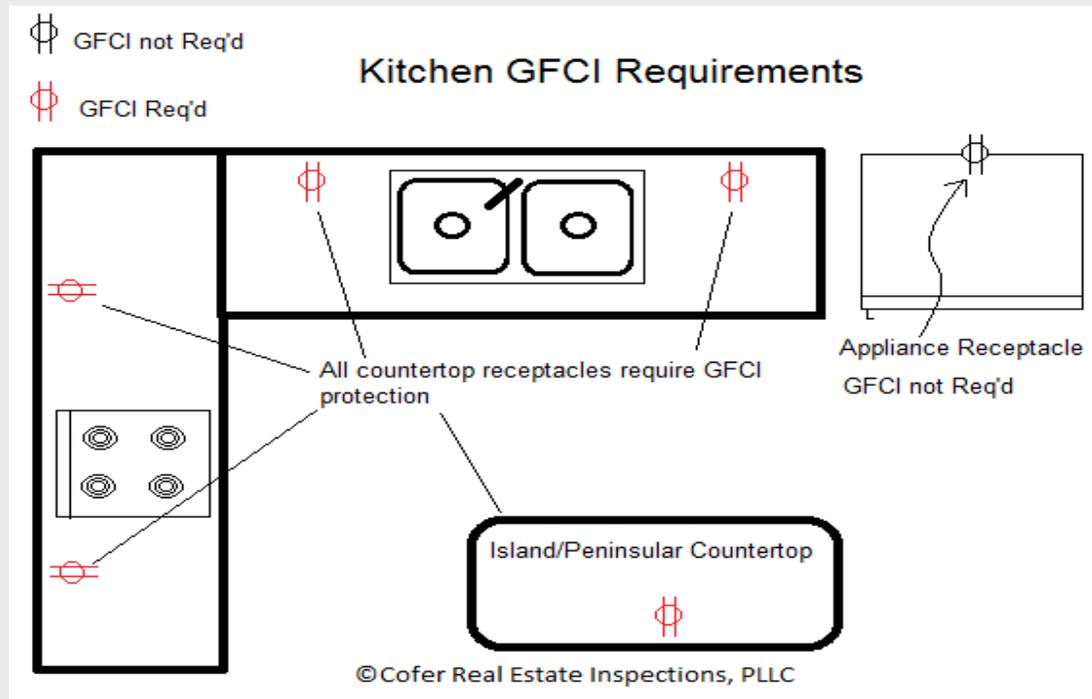
- The following slides show attempts to illustrate what our inspectors look for on re-occupancy inspections. It would be impossible for us to include a photo of each and every item from the Property Maintenance Code.
- We have attempted to show the most common issues and those that many owners are unaware of.
- Each inspector must make judgment calls based on the code. The judgment of one inspector versus another may vary.
- Please note that some plumbing, electrical, deck, and other work may require a separate permit with its own, separate inspections.

RE-OCCUPANCY PERMIT INSPECTIONS

Kitchen

House utilities must be on.

GFCI protection over kitchen counters.



Test hot and cold water. GFCI receptacles are required at all outlets serving all kitchen counters. They may be protected at the service panel with a GFCI circuit breaker, or protected “upstream” at another outlet, but should be so marked with a sticker.

Wet bar must be GFCI protected.

RE-OCCUPANCY PERMIT INSPECTIONS

Kitchen

Check Drains.

Section 504



Flex piping on drains is not allowable, per Plumbing requirements. Unvented sinks and vanities will be required to be properly vented by a licensed plumber.

RE-OCCUPANCY PERMIT INSPECTIONS

Kitchen

Check for kitchen exhaust.

Sections 603.1 & 603.2



Kitchens must have an air vent to the exterior, **or an operating window.**

RE-OCCUPANCY PERMIT INSPECTIONS

Kitchen

Garbage disposal must have cable connector where cable enters the device.
(It is missing in the photo on the left. It is installed in the photo on the right.)



RE-OCCUPANCY PERMIT INSPECTIONS

Kitchen

Check the kitchen stove anti-tip device.

Section 603.1



Install anti-tipping anchor for stoves according to manufacturer's specifications.

RE-OCCUPANCY PERMIT INSPECTIONS

Living Room

Check electric receptacles for open grounds.



Inspectors check for open grounds and improper wiring with a tester on receptacle outlets. Original two-prong systems are acceptable, if maintained. Three-prong outlets not grounded must be properly grounded, or switched back to two-prong.

All extension cords must be removed.

RE-OCCUPANCY PERMIT INSPECTIONS

Living Room

Check fireplace.

Sections 603.2, 603.3, 603.5 & 703



Check fireplace for safe installation, chimney flue installation and outdoor combustion air supply. Note; gas fire logs must have clearly marked shut-off in same room, or basement.

RE-OCCUPANCY PERMIT INSPECTIONS

Living Room

Verify the type of egress door locks.

Section 702.3



All egress doors shall be readily openable from the inside without the need for keys, special knowledge, or effort. Thumb-turn deadbolts are acceptable; interior **key deadbolts are not permitted.**

Replace any missing hardware.

RE-OCCUPANCY PERMIT INSPECTIONS

Bathroom

Check GFCI receptacles, lights, vanities.

Sections 605.2, 605.3 & 304.1



There must be at least one outlet in each bathroom. All receptacles in bathrooms must be GFCI protected. Outlets attached to light fixtures must be GFCI protected or removed.

RE-OCCUPANCY PERMIT INSPECTIONS

Bathroom

Check water pressure, hot & cold water, and leaks.

Section 505



Check for sufficient water pressure, correct hot & cold water connections and leakage around bathtub and fixtures. Caulking at tub surround must be maintained.

RE-OCCUPANCY PERMIT INSPECTIONS

Bathroom

Check Drains.

Section 504



Flex piping on drains is not allowable, per Plumbing requirements. Unvented sinks and vanities will be required to be properly vented by a licensed plumber.

RE-OCCUPANCY PERMIT INSPECTIONS

Bathroom

Check water supply lines.

Sections 504, 505, 506 & 507



Soft, smooth plastic water lines shall be replaced with approved metallic lines in accordance to the International Plumbing Code. However, hard plastic water lines attached to the shut-off valve **at the factory** are allowable. White braided supply line is acceptable.

RE-OCCUPANCY PERMIT INSPECTIONS

Bathroom

Check for exhaust fans.

Sections 403.1 & 403.2



Bathrooms must have an operable window, or a mechanical exhaust fan. Exhaust fans must vent to the exterior and be located at the top of a wall or in the ceiling.

RE-OCCUPANCY PERMIT INSPECTIONS

Bathroom

Check for a secure toilet.

Sections 504 & 505



Check toilet anchorage to the floor. Check for a secure toilet seat. Defective toilet flush mechanisms shall be repaired/replaced to ensure proper water level. Check seal at toilet base for leakage.

RE-OCCUPANCY PERMIT INSPECTIONS

Bedrooms

Check for smoke detectors.

Section 704



Smoke detectors must be installed in each bedroom, in each hall in the immediate vicinity of bedrooms, and on each floor level of the structure. (main floor, any usable attic or 2nd floor space, any usable basement; not an in-accessible attic). Smoke detectors may be battery operated, but existing hard-wired systems must be maintained.

RE-OCCUPANCY PERMIT INSPECTIONS

Bedrooms

Verify minimum headroom is met, check room size.

Sections 404.3, 404.4 & 404.5



All bedrooms will be measured. To qualify as a bedroom, there must be 70 square feet of floor space. 120 sq. ft. will allow for 2 people in that bedroom; 170 sq. ft. = 3 people; 220 sq. ft. = 4 people. Only that portion of the bedroom with a ceiling height of 5 ft. or more will be considered when measuring an attic or dormer room.

Any room shall not be less than 7 feet wide in any direction.

RE-OCCUPANCY PERMIT INSPECTIONS

Bedrooms

Check window conditions.

Section 303.13



Window sash must operate freely and stay open when lifted. Glazing must be maintained free from cracks and voids.

RE-OCCUPANCY PERMIT INSPECTIONS

Bedrooms

Check insect screen conditions.

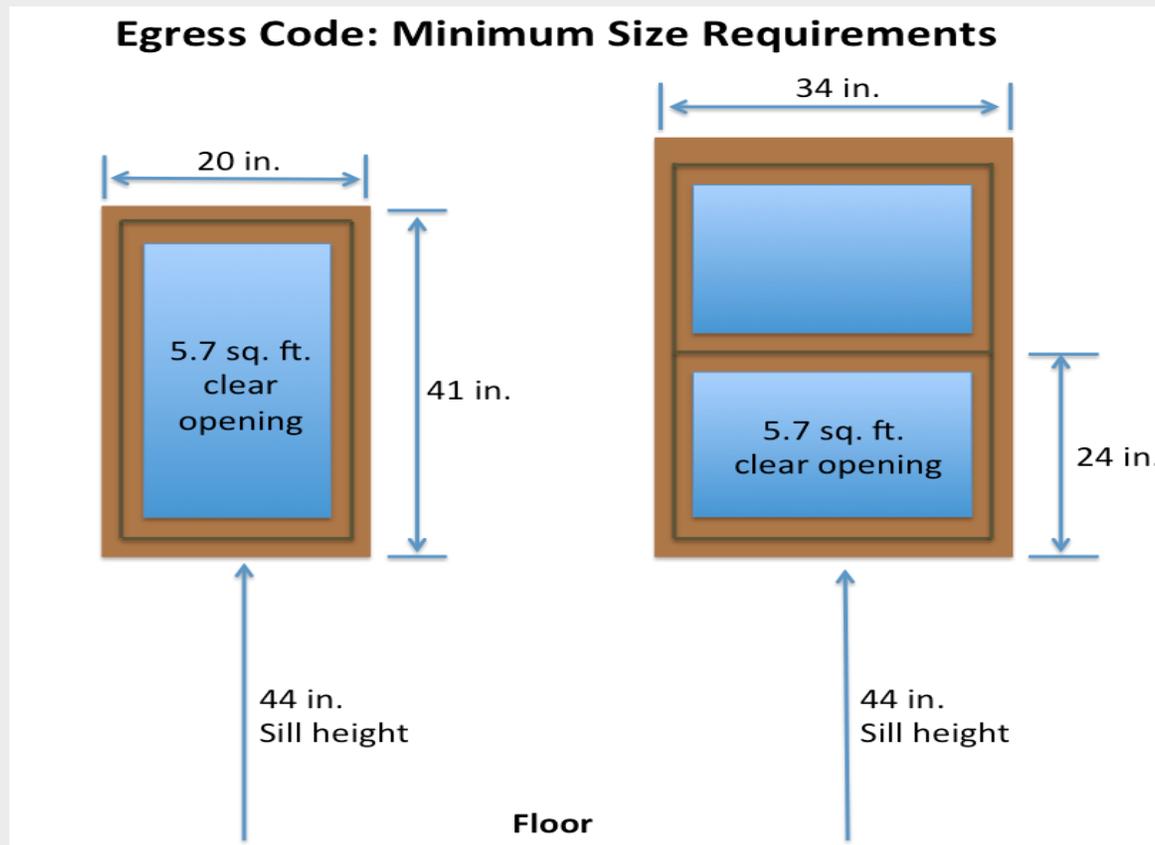
Section 303.14



Every window, sliding door, and other outside opening required for ventilation of habitable rooms shall have tightly fitting screens.

RE-OCCUPANCY PERMIT INSPECTIONS

Bedrooms



A basement bedroom must have an egress window or door that opens to the exterior from inside of the bedroom. The window must have an opening of 5.7 square feet, minimum, to escape a fire. The bottom of this window cannot be more than 44 inches off the floor. Without this egress, we do not allow a basement bedroom, or any bedroom.

RE-OCCUPANCY PERMIT INSPECTIONS

Carbon Monoxide Detectors



Fire District requirement for a carbon monoxide detectors, one on each floor of the structure when gas fired appliances are present.

RE-OCCUPANCY PERMIT INSPECTIONS

Exterior

Check debris, litter & tall grass.

Sections 302.1, 302.4



All rubbish, garbage, yard waste shall be removed and disposed of. Grass over 8" in height shall be cut.

RE-OCCUPANCY PERMIT INSPECTIONS

Exterior

Check condition of fences.

Sections 302.7 & 303.2



Examples of deteriorating fences requiring repair, paint and maintenance.

RE-OCCUPANCY PERMIT INSPECTIONS

Exterior

Swimming pool gates

Sections 303.2



Pools, hot tubs and spas must be surrounded by a 4 foot high fence or barrier and use gate latch hardware not accessible to small children. Gates are required to be self-closing and self-latching from a still position 6" from the gatepost. Where self-latching device is less than 54 inches above the bottom of the gate, the release mechanism shall be located on the pool side of the gate.

Exterior doors offering direct access to the pool area must be fitted with pool alarms.

RE-OCCUPANCY PERMIT INSPECTIONS

Exterior

Electric service entry cable.

Sections 604 & 605



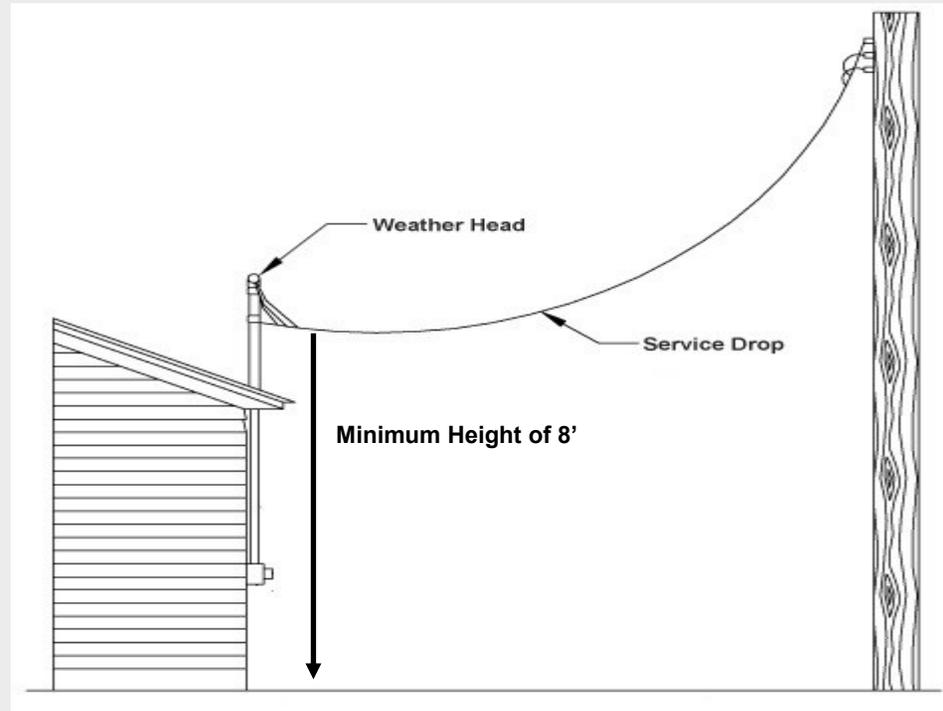
Any deteriorated and defective entry cable must be replaced under permit to eliminate hazards. If outer sheathing of cable is frayed or deteriorated, we cite.

RE-OCCUPANCY PERMIT INSPECTIONS

Exterior

Check electric disconnect.

Sections 604 & 605



Eight (8) feet minimum height is required at the service entry cable drop and at its lowest point in the yard.

RE-OCCUPANCY PERMIT INSPECTIONS

Exterior

Check exterior painting & accessory buildings.

Section 302.7



All exterior surfaces where chipping and peeling paint occurs shall be scraped and painted. Accessory structures shall be maintained structurally sound and in good repair.

RE-OCCUPANCY PERMIT INSPECTIONS

Exterior

Check foundation and retaining wall conditions.

Sections 304.5 & 302.7



Retaining walls must be maintained structurally sound and in good repair.

RE-OCCUPANCY PERMIT INSPECTIONS

Exterior

Check exterior wall conditions.

Section 304. and 304.2



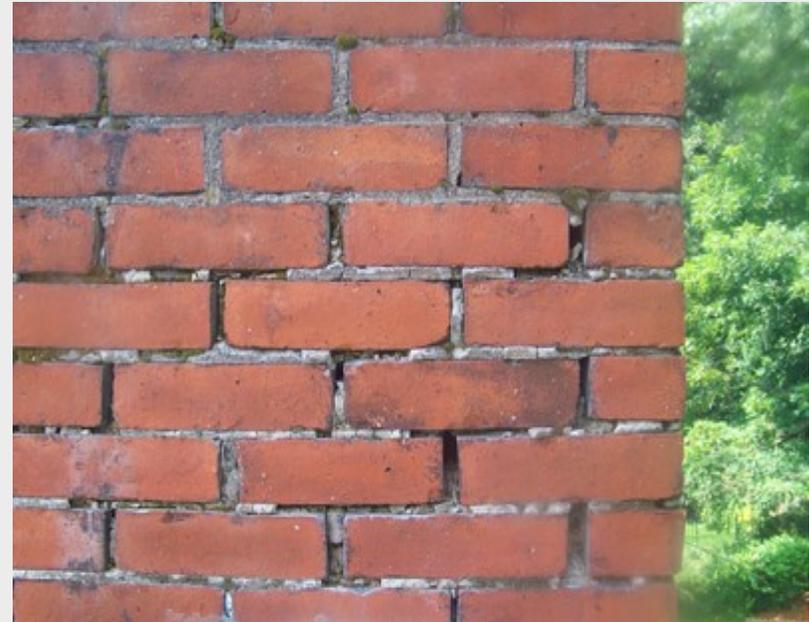
Check for melted, deformed, damaged and missing siding.

RE-OCCUPANCY PERMIT INSPECTIONS

Exterior

Check chimney conditions.

Section 304.11



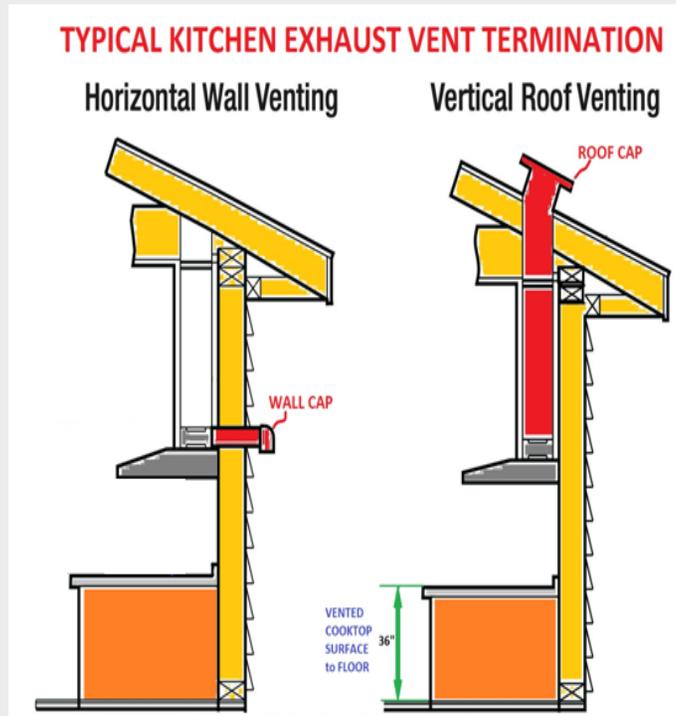
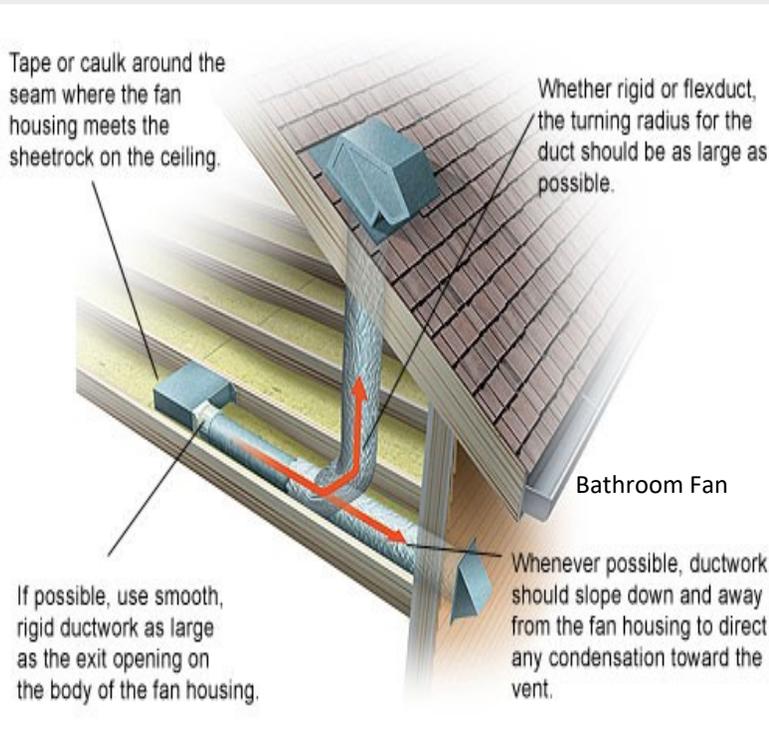
All chimneys shall be maintained structurally safe and sound and in good repair. Loose areas and cracked masonry joints shall be repaired/replaced/tuckpointed.

RE-OCCUPANCY PERMIT INSPECTIONS

Exterior

Check wall exhaust vent conditions.

Sections 603.2 & 603.5



Bathroom, dryer and kitchen exhaust vents will be vented to the exterior and shall have self closing covers with screens to minimize air leakage and prevent pests from entering the structure.

RE-OCCUPANCY PERMIT INSPECTIONS

Exterior

Decks

Sections 304.12, 304.2 & 304.10



Decks will be inspected for missing connectors, deteriorated decking, framing, metal connectors. Handrails and guardrails must be 30" to 42" above the nose of the stair tread or floor. Stair risers shall maintain the same height and treads the same depth for the length of the stairs so as to avoid a tripping hazard. Proper joist hangers must be installed; proper bolts required at 4 x 4 supports. Proper sized joist hangers required at post/ledger. Must be attached with 16d or approved joist hanger nails.

RE-OCCUPANCY PERMIT INSPECTIONS

Exterior

Check for waterproof exterior GFCI receptacles.

Sections 604 & 605



Exterior outlet receptacles shall have waterproof covers and be protected on a ground fault circuit interrupter (GFCI) circuit. (The photo on the right would be unacceptable.) We do require GFCI outlets in an existing garage

RE-OCCUPANCY PERMIT INSPECTIONS

Exterior

Concrete and pavement

Sections 320.3



Surface differentials of $\frac{3}{4}$ " or more on driveways and walkways are a trip hazard and must be leveled. $\frac{3}{4}$ " cracks must be repaired. Gravel driveways must come into compliance with city code.

RE-OCCUPANCY PERMIT INSPECTIONS

Exterior

Check roof conditions.

Section 304.7



Deteriorated overhang, loose or missing roof shingles, roof flashing and vents shall be repaired/replaced. Roofs leaking badly will require a full replacement.

RE-OCCUPANCY PERMIT INSPECTIONS

Exterior

Peeling, flaking paint and oxidation will be cited.

Section 304.2



Check all painted areas and gable vents for peeling and oxidation paint.

RE-OCCUPANCY PERMIT INSPECTIONS

Exterior

Verify visible house address numbers.

Section 304.3



House address numbers shall be 4" minimum high, 1/2" stroke width visible from the street. Missing numbers shall be replaced. May be located on either house or mailbox.

RE-OCCUPANCY PERMIT INSPECTIONS

Exterior

Check guttering system conditions.

Section 304.7



Roof drains, gutters and downspouts shall be maintained in good repair and free from obstructions. Roof water shall not be discharged in a manner that creates a public nuisance. Drainage/Underground drainage must be keep back 15' from the backside of street curb.

RE-OCCUPANCY PERMIT INSPECTIONS

Basement

Check plumbing for safety and leaks.

Sections 504, 505, 506 & 507



Check for plumbing leaks and basement for safety issues.

RE-OCCUPANCY PERMIT INSPECTIONS

Basement

Check electrical system for safety (sags, etc.).

Sections 304.3



All electrical systems, equipment , wiring and appliances shall be properly installed and maintained in a safe and approved manner. Newly installed electrical work will be checked for proper permits.

RE-OCCUPANCY PERMIT INSPECTIONS

Basement

Check furnace venting.

Sections 603.



3 sheet metal screws must be installed at each metal/galvanized flue joint. Properly seal opening around furnace flue at chimney. Check for deteriorated or missing exterior chimney cap.

RE-OCCUPANCY PERMIT INSPECTIONS

Basement

Check plumbing for safety and leaks.



Deteriorated plumbing such as soil stacks and unsecured water lines shall be repaired/replaced. Verify that a clean-out plug is installed in the soil stack. Newly installed water heaters will be checked for proper **permit** required for installation.

RE-OCCUPANCY PERMIT INSPECTIONS

Basement

Check water heater fittings, pressure relief valve (PRV), and the flue for three (3) screws connecting each joint.

510.7.1 IPC



No bright (flimsy) aluminum vent; must be dull (sturdy) galvanized venting.

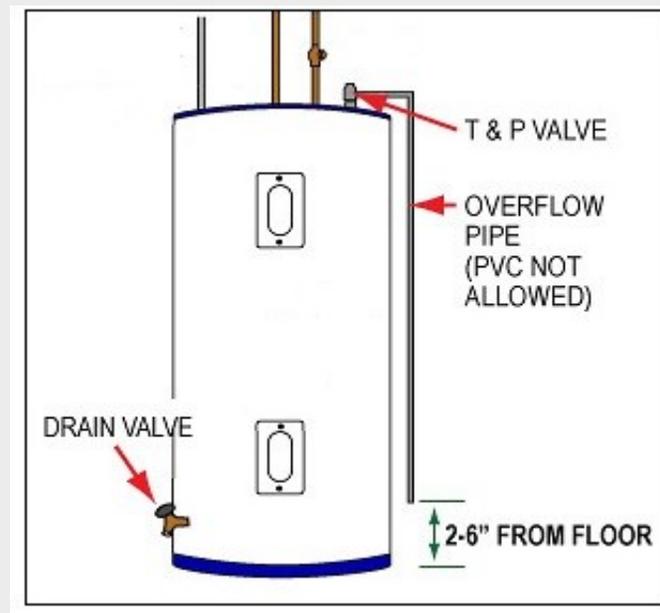


Check for deteriorated dielectric unions.

RE-OCCUPANCY PERMIT INSPECTIONS

Basement

Check Temperature/pressure-relief or TPR valve and Discharge Pipe
Sections 505.4



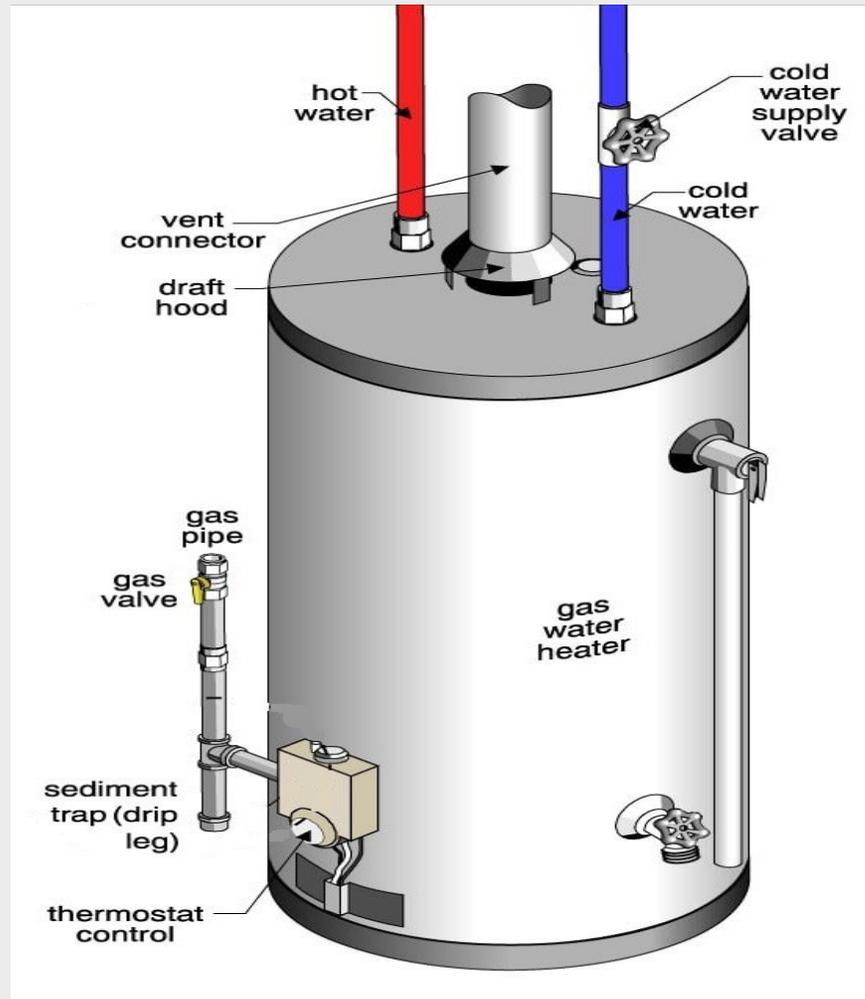
Discharge Pipe shall be constructed of an approved material, such as CPVC, copper or stainless steel. PVC and other non-approved plastics should not be used since they can easily melt. Not be smaller than the diameter of the outlet of the valve it serves (usually no smaller than 3/4").

RE-OCCUPANCY PERMIT INSPECTIONS

Basement

Check for Sediment Trap not less than 3" and a shut off Gas Valve

Sections 505.4



RE-OCCUPANCY PERMIT INSPECTIONS

Basement

Verify 60 amp minimum electric service.

Sections 604.2



Minimum 60 amp service is allowable. Inspectors check cable clamps and circuits for appropriately rated fuses. Inspector opens box door, but does not remove the box cover to verify circuit installations inside the box.

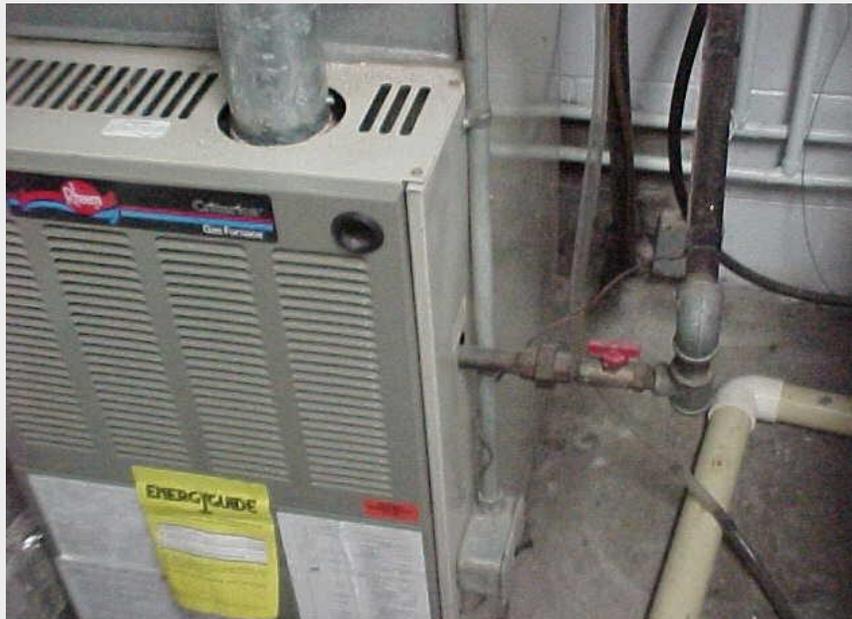
Open, unused circuits in the electrical panel must be covered with appropriate cover plate.

RE-OCCUPANCY PERMIT INSPECTIONS

Basement

Check gas line shut-off valves at all gas appliances.

Sections 603.1 & 603.5



Check for natural gas shut-off valves on the furnace, water heater, stove/oven and ranges. Each appliance must have a separate shut off valve within 6 feet of appliance.

RE-OCCUPANCY PERMIT INSPECTIONS

Basement

Sump pump installations.

Sections 507



Cannot drain into existing sanitary sewer; must drain to the exterior. Drainage/ Underground drainage must be keep back 15' from the backside of street curb. No extension cords; not installed per manufacturer's instructions. No GFCI required.

RE-OCCUPANCY PERMIT INSPECTIONS

Basement

Check stair risers, treads, handrails & headroom.

Sections 305.4, 305.5, 307 & 402.2

Deteriorated, damaged, loose or missing risers, treads, handrails & guardrails shall be repaired or replaced. Handrails shall not be less than 30" high or more than 42" above the nose of the tread or floor. Guardrails shall not be less than 30" minimum height. Stair risers shall maintain the same height and treads the same depth for the length of the stairs so as to avoid a trip hazard. Stairs shall have a ceiling height of not less than 6'-8".

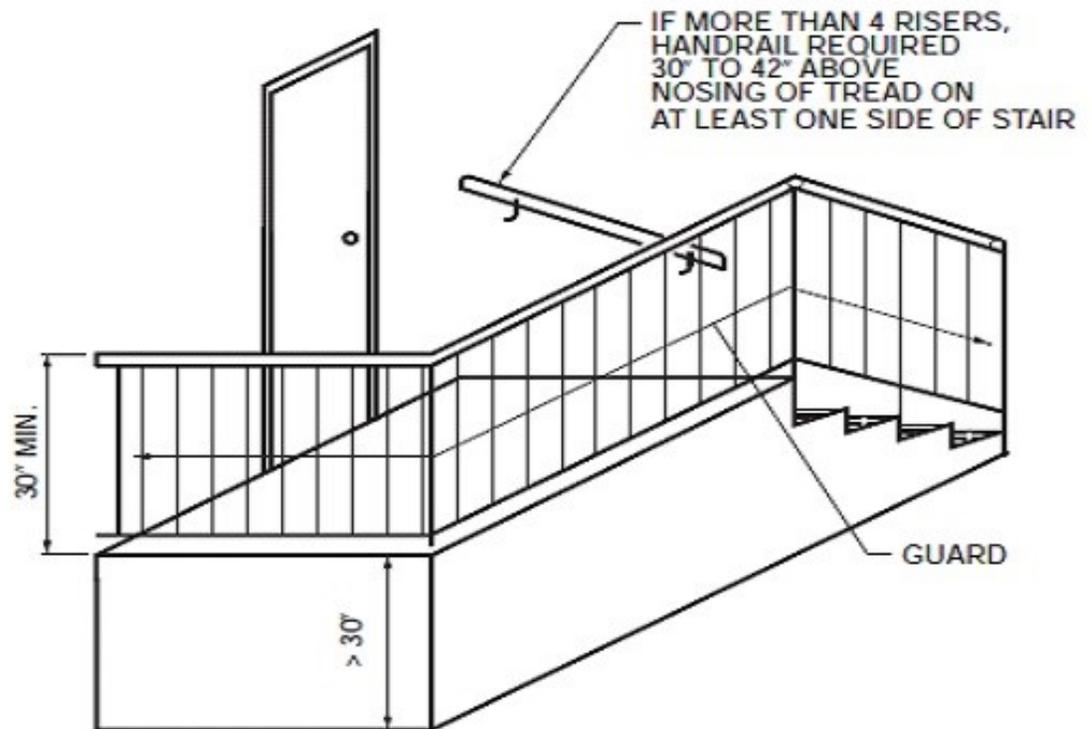


Figure 307.1
HANDRAILS AND GUARDS

RE-OCCUPANCY PERMIT INSPECTIONS

Basement Garage

Check garage door opener.



Check garage door opener for proper operation and safety over-ride for obstructions under door when closing. The over-ride sensor must not be set more than 5-6 inches above pavement.

RE-OCCUPANCY PERMIT INSPECTIONS

Basement/Garage

fire blocking.

Sections 703 & 703.2



Any openings, in the fire separation wall between the garage and living space, or at pipe and wire penetrations through the floor or wall, shall be blocked. Fire stops may be 5/8" Fire drywall. All drywall joints must be taped with at least one coat, at area bordering living space. A rated door of 20 minutes protecting the door openings

RE-OCCUPANCY PERMIT INSPECTIONS

Basement

Check fire blocking at walls and ceilings.



Fire stops at mechanical, electrical and plumbing penetrations must cover any openings; there should be no “daylight” showing where drains and other utilities enter the floor. Fire stop material may include ½ inch drywall, ¾ inch plywood, heavy sheet metal, or approved fireproof caulk.

RE-OCCUPANCY PERMIT INSPECTIONS

Fire Blocking



No spray foam products are allowable. Fire-rated caulk may be acceptable, if applied in a workmanlike manner.

RE-OCCUPANCY PERMIT INSPECTIONS

Dryer Vents: Clothes dryer vents cannot be cage-type on exterior, nor canister type on interior. Must vent to the Exterior. No vent run longer than 25 feet. No screws penetrating interior of the vent.

(Residential Code Sec. M1502; G2439.)



RE-OCCUPANCY PERMIT INSPECTIONS

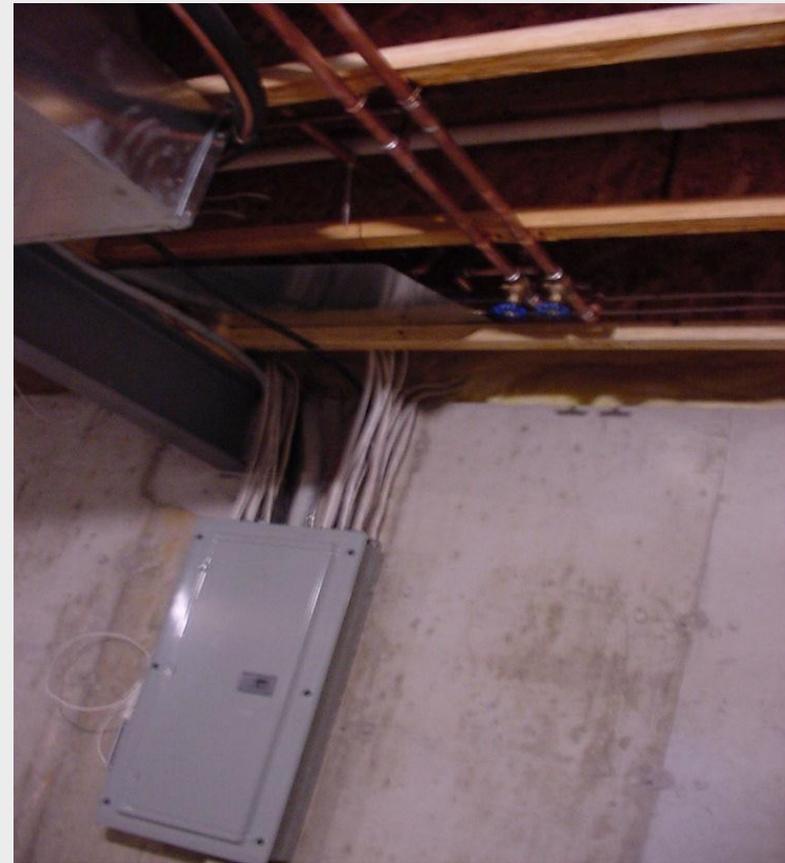
Interior

Check for electrical hazards.

Section 604.3

Electrical service panels are not allowed in bathrooms and clothes closets.

Existing water piping over electrical panel boxes will be allowed to remain.



RE-OCCUPANCY PERMIT INSPECTIONS

Interior

Check light fixtures.

Sections 402.2 & 605.3



Every public hall, interior stairway, toilet room, kitchen, bathroom, laundry room, and furnace room shall contain at least one light fixture. Repair/replace broken fixtures.

RE-OCCUPANCY PERMIT INSPECTIONS

Exterior

Check fascia & soffit conditions.

Section 304.2 & 304.6



Examples of a deteriorated fascia and soffit that require repair and anchorage to maintain a safe condition.

RE-OCCUPANCY PERMIT INSPECTIONS

Bars on bedroom windows must be releasable or removable from the inside without the use of a key, tool, or force greater than that which is required for normal operation of the opening.

Section 702.4



RE-OCCUPANCY PERMIT INSPECTIONS

Additional Requirements:

Interior mold – Drywall must be removed if it has active, or remnants of, black growth. Cut out bad drywall areas and patch in new, as needed. Windows with black growth must have old caulk removed; new caulk inside and out.

Basement partitions must be finished on a least one side if there is wiring. There cannot be broken, or deteriorated, drywall. Framing that is completely open on both sides must have all wiring removed, wiring completed with a permit, or approved wiring covered with drywall. Unfinished, open framing may remain if there is no wiring exposed.

Exterior light fixtures – Missing light bulbs must be replaced for exterior light fixtures attached to the house. Defective, existing exterior light fixtures attached to the house must be repaired or replaced, not removed. If a front or rear light POLE is not working, they do not have to be repaired, as long as the structure of the pole is sound.

No extension cords – all extension cords must be removed.

Water supply lines - White braided supply line is acceptable. Need not require a shut-off at each fixture.

Loop vent – Allow if existing (such as cast iron), or at an island. If PVC, it was done without a permit, so it's illegal. Plumbing Dept. may allow replacement of old act iron with PVC under permit, if using the same configuration.

Mechanical venting – no mechanical venting allowed.

Flexible gas lines – Flex line not allowable inside of furnace, only outside, unless specified in manufacturer's instructions, such as on a pulse furnace. Three (3) foot maximum flex line is allowable on water heaters and dryers; six ft. maximum on stoves. Existing gas line saddle valves are not allowable.

Enclosed furnace – Requires removal of solid door and/or installation of a louvered door. Allowable in a private garage if protected from motor vehicle impact and installed with the source of ignition not less than 18 inches above the floor, or installed with a minimum clearance of 6 feet above the floor.

RE-OCCUPANCY PERMIT INSPECTIONS

General

Check to see if the property is ready for inspection.

A Re-Occupancy inspection should take approximately 30 to 40 minutes to complete if the property does not have a large number of maintenance and repair items.

For properties with an inordinate amount of work remaining to perform to meet the International Property Maintenance Code for re-occupancy, the inspection should be scheduled for a later date to allow the Owner time to correct the deficiencies.

